ALTA/ACSM LAND TITLE SURVEY OF Two parcels of land located in block 9 of Allynhurst subdivision, City of Delavan, Walworth County, Wisconsin A Parcel of land located in Block 9 of Allynhurst Subdivision, City of Delavan, Walworth County, Wisconsin, described described as follows, to-wit: 1. Commencing at the concrete monument located on the South line of Geneva Street at the Northwest corner of said Beginning at the concrete monument located on the South line of Geneva Street at the Northwest corner of said Block Block 9, thence N 89° 08 1 E along the North line of said Block 9, 231.00 feet to the place of beginning, thence S 0° 9, thence N 89° 08' E along the North line of said Block 9, 231.00 feet, thence S 0° 48' E parallel to the East line of 48' E parallel to the East line of said Block 9, 375.00 feet, thence N. 89° 08' E parallel to the North line of said Block 9, 30.00 feet, thence N. 0° 48' W parallel to the East line of said Block 9, 375.00 feet to the North line of said Block 9, Block 9, 375.00 feet, thence S 89° 08' W parallel to the North line of said Block 9, 251.13 feet to the West line of Block 9, thence N 0° 01' W along the West line 360.00 feet to a concrete monument, thence Northwesterly along the arc of a thence S 89° 08' W. 30.00 feet to the place of beginning. with a radius of 15,22 feet to a concrete monument located N 44° 33' 30" E 21,37 feet from the last mentioned 2. Commencing at the concrete monument located on the South line of Geneva Street at the Northwest corner of said concrete monument and the place of beginning. Block 9, thence N. 89° 08' E. along the North line of said Block 9, 261.00 feet to the place of beginning, thence S 0° 48 1 E parallel to the East line of said Block 9, 375.00 feet, thence N 89° 08 1 E parallel to the North line of said Block 9, EXCEPTING THEREFROM all that portion thereof as is set forth in a Deed by Corporation from Community Bank to 30.00 feet, thence N 0° 48 1 W parallel to the East line of said Block 9, 375.0:0 : feet to the North line of said Block 9, the City of Delavan, Wisconsin recorded February 18, 2014 as Document No. 880462. thence S 89° 08' W 30.0.0 feet to the place of beginning. LEGAL DESCRIPTION OF RECORD FOR TAX PARCEL XAS 00094A PER CHICAGO TITLE INSURANCE COMPANY MODIFICATION AND DATE DOWN ATTACHED TO OWNER'S POLICY NUMBER WAL-31766 (CT FILE NO. WA-3203) SEE SURVEYOR'S EXCEPTING THEREFROM all that portion thereof as is set forth in a Deed by Corporation from Community Bank to the City of Delavan, Wisconsin recorded February 18, 2014 as Document No. 880462. LEGAL DESCRIPTION OF RECORD FOR TAX PARCEL XAS 00094B PER CHICAGO TITLE INSURANCE COMPANY MODIFICATION AND DATE DOWN ATTACHED TO OWNER'S POLICY NUMBER 400464 (CT FILE NO. WA-3202) TOTAL AREA OF LANDS SURVEYED: 115,400 SQ. FT. (2.65 ACRES) SURVEYORS NOTES: TITLE INFORMATION THIS MAP HAS BEEN PREPARED IN RELATION TO (1) COMMITMENT TO ISSUE DATE DOWN ENDORSEMENT TO OWNERS POLICY NO. WA-3203/WAL-31766 ISSUED BY CHICAGO TITLE INSURANCE COMPANY, (2) COMMITMENT TO ISSUE DATE DOWN ENDORSEMENT TO OWNERS POLICY NO. 3202/400464 ISSUED BY CHICAGO TITLE INSURANCE COMPANY, AND (3) OWNERS POLICY NO. WA-3203/WAL-31766 AND OWNERS POLICY NO. 3202/400464. COMMITMENT TO ISSUE DATE DOWN ENDORSEMENT TO OWNERS POLICY NO WA-3203/WAL-31766. GENEVA STREET REF. NO.S 1 THRU 9 ARE NOT SURVEY RELATED ISSUES VARIABLE WIDTH R.O.W. NO. 10 DOC 865528 IS A 12 EASEMENT TO AT&T SHOWN ON THIS MAP. CURB & GUTTER NO. 11 DOC. 880462 IS A TEMPORARY LIMITED EASEMENT SHOWN ON THIS MAP. DRIVEWAY EASEMENT (R=15.22') — OWNERS POLICY NO. WA-3203/WAL-31766 DATED JULY 10, 1996 DOC. # -498349-148.78' (148.83') 70.06' (70') CONCRETE WALK REF. NO.S A THRU I ARE NOT SURVEY RELATED EXCEPTIONS (N 89° 08' E) 68 SQ. FT.+/- OF LAND-DEEDED TO THE CITY OF EXCEPTION J DOC. NO. 497070 IS A 15 WIDE GAS EASEMENT IS SHOWN ON THE SURVEY - (231.00°) — BANK SIGN DELAVAN PER DOCUMENT EXCEPTION K. DOC. NO. 498349 IS A 20 FOOT SERVICE DRIVE EASEMENT SHOWN ON THE SURVEY. NO. 880462 - TEMPORARY LIMITED EXCEPTION L VOL. 459, PAGE 567 ARE COVENANTS AND RESTRICTIONS WHICH DO NOT AFFECT THE SUBJECT EASEMENT. SEE PROPERTY (ONLY AFFECTS THE RESIDENTIAL LOTS IN ALLYNHURST SUBDIVISION) SURVEYOR'S NOTE #2. EXCEPTION M DOC. NO. 585664 IS A 20 SERVICE DRIVE AGREEMENT SHOWN ON THIS SURVEY. EXCEPTION N DOC. NO. 586147 IS A 200 FOOT PARKING AREA AND ROW SHOWN ON THIS MAP. COMMITMENT TO ISSUE DATE DOWN ENDORSEMENT TO OWNERS POLICY NO. WA-3202/400464 REFERENCE SCHEDULE B, REF. NO.S 1 THRU 9 ARE NOT SURVEY RELATED ISSUES REAR FROM PAVE-NO. 10 DOC 865528 IS A 12 EASEMENT TO AT&T SHOWN ON THIS MAP. SIDEFROM ZONING DISTRICT NUMBERS NO. 11 DOC. 880462 IS A TEMPORARY LIMITED EASEMENT SHOWN ON THIS MAP. (13) OWNERS POLICY NO. WA-3202/400464, DATED MARCH 28, 2003 200 50 50 25 50 25 5/10<sup>2</sup> 50 35 REFERENCE SCHEDULE B: 200 50 50 25 50 25 51102 50 35 200 50 50 25 50 25 5/10<sup>2</sup> 50 35 NO.S 1 THRU 3 ARE NON SURVEY RELATED ISSUES NO. 4 IS A CALL FOR A GAS EASEMENT WITH NO SPECIFIC RECORDING INFORMATION, ALTHOUGH WE HAVE SHOWN A 150 50 50 25 50 25 5110<sup>2</sup> 50 35 15 GAS EASEMENT IN THE SAME LOCATION AS DOCUMENT NO. 497070 130 50 50 25 50 25 5/10 50 NO. 5 DOC. 498349 IS A SERVICE DRIVE EASENED SHOWN ON THIS MAP. 150 25 25 0/101 25 25 5/102 20 50 NO. 6 DOC. 494874 CONTAINS A LANDSCAPE BUFFER EASEMENT SHOWN ON THIS MAP. Business Neighborhood (BN) 50 25 25 0/10<sup>1</sup> 25 25 5/10<sup>2</sup> 20 35 No. 7 RESTRICTIONS REC. IN DOC.S 521994 AND 521995 (WHICH REFERENCE VOL. 518 OF DEEDS, PG 246) Business Regional (BR) 150 25 25 0/10<sup>1</sup> 25 25 5/10<sup>2</sup> 20 50 CALL FOR A FENCE ALONG THE SOUTH LINE OF THE PROPERTY (SHOWN AS EXISTING ON THIS MAP); A 1 50 25 10 0/10<sup>1</sup> 25 25 5/10<sup>2</sup> 20 LANDSCAPE BUFFER EASEMENT ALONG THE SOUTH LINE OF THE PROPERTY (SHOWN ON THIS MAP); A 15 EASEMENT FOR UTILITIES ALONG THE SOUTH 15 FEET (SHOWN ON THIS MAP); A 20 FOOT WIDE SERVICE DRIVE EASEMENT gr. AGREEMENT (SHOWN ON THIS MAP); A 200 BUILDING SETBACK AND PARKING AGREEMENT OVER THE NORTH 200 NO PARKING REQUIREMENTS WERE FOUND IN THE CITY OF DELAVAN FEET OF THE PROPERTY (SHOWN ON THIS MAP); AND AN AGREEMENT THAT THE FIRST FLOOR ELEVATIONS WOULD BE IN CONFORMANCE TO THE REMAINDER OF THE BUILDING (IT CURRENTLY APPEARS TO BE IN CONFORMANCE). ZONING ORDINANCE. 200' PARKING AREA EASEMENT DOC. # 586147, ALSO VOL. 555 PAGES 577 AND 580 NO. 8 DOC. NO. 586147 IS A ROW EASEMENT SHOWN ON THIS MAP NO. 9 DOC. NO. 585684 IS A 20 SERVICE DRIVE AGREEMENT SHOWN ON THIS MAP. ALSO BUILDING SETBACK OVERHANG SUPPORTS PER VOL. 518, PAGE 246 NO. 10 DOC, NO. 579982 IS A PARTY WALL AGREEMENT ALONG THE EAST LINE OF THE LANDS SURVEYED. CONCRETE WALK SEAM OF BUILDING 0.15'-. ALL MONUMENTS HAVE BEEN FOUND OR PLACED WEST OF PROPERTY LINE. 2. ADDRESS: 820, 822, 824B, 826, & 828 EAST GENEVA STREET, DELAVAN, WI. PER WALWORTH COUNTY NTERACTIVE MAPPING. 3. FLOOD ZONE CLASSIFICATION MADE PART OF SURVEYORS CERTIFICATE. 4. AREA = 115,400 S.F. AS SHOWN 6(b). ZONING BL (BUSINESS LOCAL) (a) SHOWN ON MAP 7(b)(1) SHOWN ON MAP (c) SHOWN ON MAP 8 SHOWN ON MAP 9 SHOWN ON MAP 10 PARTY WALL WOULD LIE EAST OF THE EXTERIOR BUILDING WALL AS SHOWN ON THE SOUTHERLY BUILDING. 11(a) ALL VISIBLE UTILITIES HAVE BEEN SHOWN (AS WELL AS FLAGGED UTILITY LINES PRESENT ON THE DATE BUILDING OF THIS SURVEY) SFE PART WALL AGREEMENTS 14 PROPERTY DIRECTLY ABUTS AND ACCESSES EAST GENEVA STREET & BOWERS BOULEVARD AS SHOWN.
16 THERE WAS NO EVIDENCE OF ANY EARTH WORK OR CONSTRUCTION ON THE DATE OF THIS SURVEY
17 THERE ARE NO KNOWN PROPOSED CHANGES TO THE STREET ROW 13 SHOWN ON MAP SEE PART WALL AGREEMENT DOC. NO.'S 593458 & 579982 WITHIN BOUNDARY DOC. NO. /579982/ 26,172/S.F. 18 THERE IS NO EVIDENCE OF THE PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL ON THE DATE OF THIS MAP. 19 NO WETLAND DELINEATIONS APPEAR TO HAVE BEEN DONE ON THE DATE OF THIS SURVEY. SEAM OF BUILDING 0.17'-WEST OF PROPERTY LINE. -FI AGGED -20" SERVICE DRIVE EASEMENT GAS LINE DOC. NO. 585664 METAL FENCE-1) DOCUMENT NO. 880462 DOES NOT APPEAR TO AFFECT THE LANDS DESCRIBED IN RECORD LEGAL DESCRIPTION FOR TAX PARCEL XAS 00094B. PAVEMENT 2) TEMPORARY LIMITED EASEMENT DESCRIBED IN DOCUMENT NO. 880462 STATES "THE ABOVE EASEMENT IS TO TERMINATE UPON THE COMPLETION OF THIS PROJECT OR ON THE DAY THE HIGHWAY IS OPEN TO THE TRAVELING PUBLIC, WHICHEVER IS LATER". IT IS UNKNOWN IF THE CRITERIA FOR SAID TERMINATION HAS BEEN MET OR IF IT HASN'T BEEN, WHEN IT WILL BE. TELEPHONE LINE 0.5' NORTH 20'-WIDE SERVICE DRIVE EASEMENT DOC. # 498349 SURVEYOR'S CERTIFICATE (30') OF CORNER <u>\_163.99'</u> \_ \_ \_ \_ \_ — — — — — — -4-15-6AS-60-------12' AT&T EASEMENT DOC. 865528 THE UNDERSIGNED, PETER S. GORDON, A REGISTERED SURVEYOR OF THE STATE OF WISCONSIN, CERTIFIES TO: -EASEMENT 15' GAS EASEMENT, DOC. NO. 498063 15' LANDSCAPE BUFFER, DOC. NO. 494874 DOC. # 497070 FND PIPE WINTRUST FINANCIAL CORPORATION 0.26' SOUTH COMMUNITY BANK DELAVAN & 0.04' EAST WOOD PRIVACY FENCE LEGEND OF CORNER AS FOLLOWS: NORTH OF PROPERTY LINE 0.28' SOUTH THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN SEE RESTRICTIONS VOL. 555/ 577 LEGEND OF LINE ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(b), 7(a), = SET IRON REBAR STAKE ● = BOLLARD NOTE: THE SOUTHERLY 15 FEET IS SUBJECT TO: O = FOUND IRON PIPE STAKE A LANDSCAPE BUFFER EASEMENT, UTILITY EASEMENT A = GROUND LIGHT 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 14, AND 16 thru 19 OF TABLE A THEREOF. THE FIELD WORK WAS PER DEEDS REC. IN VOL. 555, PAGES 577, & VOL 555, PG 580 = FOUND IRON REBAR STAKE TELEPHONE MANHOLE COMPLETED ON OCTOBER 22, 2014. I FURTHER CERTIFY THAT THE LANDS SURVEYED DO NOT FALL IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL NO. 55127C0169D, EFFECTIVE DATE OF OCTOBER 2, 2009 AS PUBLISHED BY ⊕ = UTILITY WARNING POST X = FOUND "PK" NAIL IN PAVEMENT (SAN) = SANITARY SEWER MANHOLE THE FEDERAL EMERGENCY MANAGEMENT AGENCY. □ = FOUND CONCRETE MONUMENT (T) = STORM SEWER MANHOLE GORDON O = UTILITY POLE LOCATED DATED: NOVEMBER 26, 2014 = UTILITY BOX LOCATED

(xxx) = RECORDED AS

 $\triangle$  = WATER VALVE VAULT LOCATED

■ = SIGN (STOP OR STREET OR HANDICAP PARKING)

300

MAP SCALE IN FEET ORIGINAL 1" = 30'

XA8 -94A XA8 -94B 002-2568

PETER S. GORDÓN P.L.S. 2101

R

S

V

REVISIONS

PROJECT NO.

SHEET NO.

4531.14

10/21/2014

1 OF 1